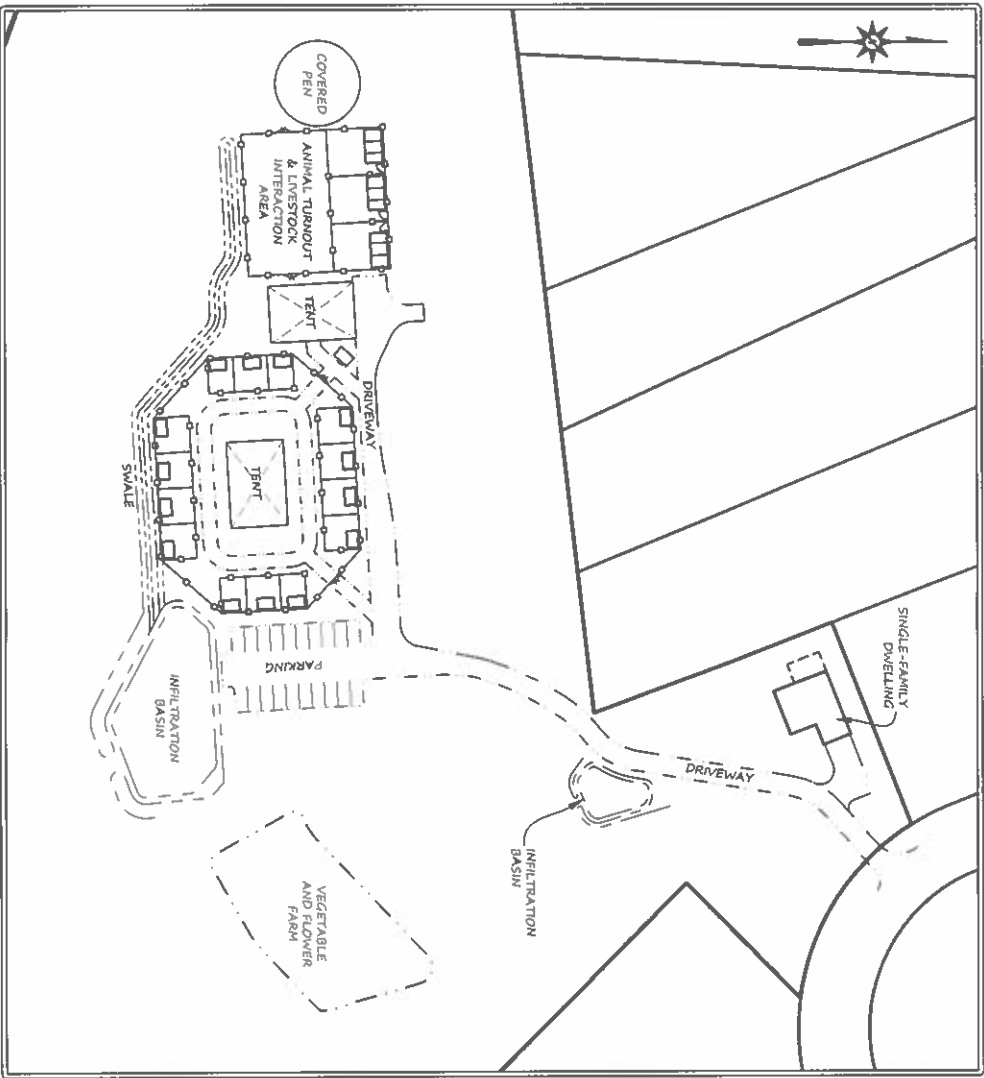


12 WATERVIEW DRIVE MEDWAY, MA SITE PLAN

PREPARED BY:
LEGACY ENGINEERING LLC
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

MAY 29, 2026

PREPARED FOR:
NANCY & DAVID DUBIN
1070 WASHINGTON STREET
HOLLISTON, MA 01746



LOCUS
SCALE: 1" = 60'

REQUESTED WAIVERS
CHAPTER 200 - SITE PLANS
• 205-S.D.13 TO NOT REQUIRE COLOR RENDERINGS OF THE PROJECT

- SHEET LEGEND
- C-0: COVER SHEET
 - C-1: SITE PLAN
 - C-2: EXISTING CONDITIONS
 - C-3: PROPOSED LAYOUT
 - C-4: GRADING & UTILITIES
 - C-5: EROSION CONTROL
 - C-6: OPERATION & MAINTENANCE
 - C-7: DETAILS

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(10)



MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

12 WATERVIEW DRIVE
COVER
PLAN OF LAND
IN
MEDWAY, MA

OWNER/APPLICANT
NANCY & DAVID J. DUBIN
1070 WASHINGTON STREET
HOLLISTON, MA 01746
ZONING DISTRICT
AR-2
ASSESSORS PARCEL
67-061 & 67-046
PLAN & DEED REFERENCE
DEED BOOK 40246 PAGE 105
PLAN BOOK 159 PAGE 101
I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS
DATE _____
REGISTERED LAND SURVEYOR
DATE APPROVED _____
DATE ENDORSED _____

PLAN DATE: MAY 29, 2026

REVISION	DATE	BY

PLAN SCALE: AS NOTED



Digitally signed by Daniel J. Memlin, P.E.
Date: 2026.06.03 13:45:05
04:00'



300' ABUTTERS

- 67-034 JOHN ANDERSON
- 11 WATERVIEW DRIVE
- 67-035 DENISE WILLIAMS
- 9 WATERVIEW DRIVE
- 67-036 RONALD CORNWELL JR.
- 7 WATERVIEW DRIVE
- 67-037 LINDA MUIR ROBINSON
- 5 WATERVIEW DRIVE
- 67-038 DAVID NEWTON
- 5 ROB WAY
- 67-047 SEAN MCDONNELL
- 2 HAYFLOWER LANE
- 67-048 DANIEL SANCIEMENTE
- 1 HAYFLOWER LANE
- 67-051 CHRISTOPHER MCHUGH
- 4 METCALF LANE
- 67-052 JAMES EARL GEORGEABLE TRUST
- 3 METCALF LANE
- 67-053 PAMELA WILLIAMSON TRUST
- 1 METCALF LANE
- 67-059 THOMAS & AUDITH HURRAY LIFE ESTATE
- 8 WATERVIEW DRIVE
- 67-060 DENIS NEELAHAYAL
- 10 WATERVIEW DRIVE
- 67-062 TOWN OF MEDWAY
- 14 WATERVIEW DRIVE
- 67-063 PETER HACHENBURG TRUSTEE
- 16 WATERVIEW DRIVE
- 67-064 MALCOLM HILL
- 18 WATERVIEW DRIVE
- 204-004 TOWN OF MEDWAY
- 11 PLAIN STREET
- 204-005 MICHAEL MOSHER
- 6 PINE CIRCLE
- 204-009 STEPHEN BENJAMIN
- 8 PINE CIRCLE
- 204-020 TOWN OF FRANKLIN
- 0 POND STREET
- 210-028 TOWN OF FRANKLIN
- 0 PLAIN STREET
- 210-019 CYNTHIA BARTOLO
- 11 LINDA LANE
- 210-020 BRAD GERRMAN
- 7 LINDA LANE



LOCUS
SCALE: 1" = 300'



Digitally signed by Daniel J. Merthin, Jr. E.
Date: 2026.06.03 13:45:22
04:00



PLAN SCALE: AS NOTED



PLAN DATE: MAY 29, 2026		
REVISION	DATE	BY

12 WATERVIEW DRIVE
SITE CONTEXT SHEET
PLAN OF LAND
IN
MEDWAY, MA

REGISTERED LAND SURVEYOR
DATE APPROVED: _____
DATE ENDORSED: _____

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(10)



C-1

1. TRASH WILL BE COLLECTED PROXIMATELY WITHIN THE FARM
2. PROPOSED PARKING SPACES ARE 4' WIDE BY 18' DEEP.

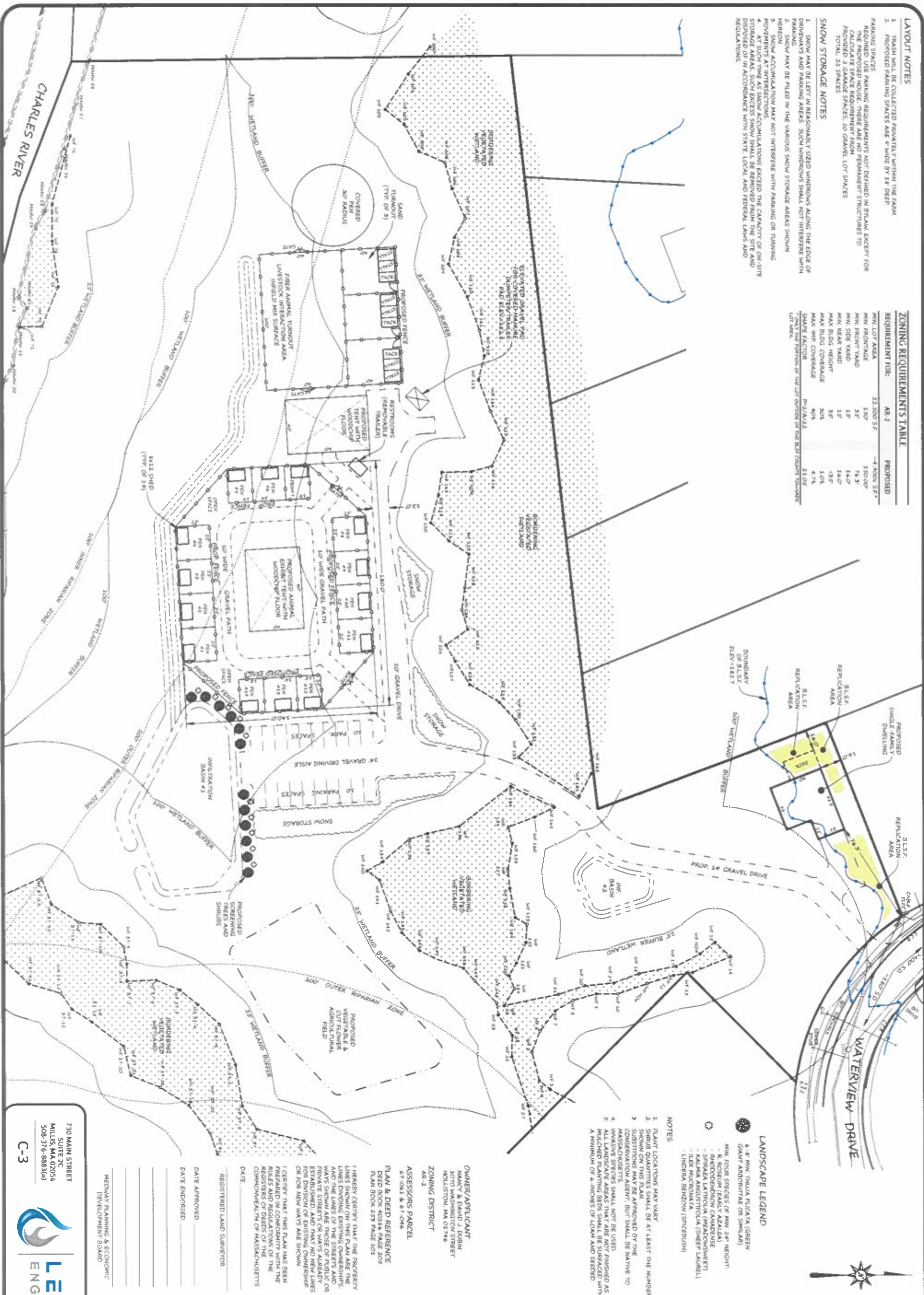
- PARKING SPACES
REQUIRED: USE PARKING REQUIREMENTS NOT DEFINED IN BYLAW, EXCEPT FOR
THE PROPOSED HOUSE. THERE ARE NO PERMANENT STRUCTURES TO
CALCULATE SPACE REQUIREMENT FROM
PROVIDED: 2 GARAGE SPACES, 20 GRAVEL LOT SPACES
TOTAL: 22 SPACES

1. SNOW MAY BE LEFT IN REASONABLY SIZED WINDROWS ALONG THE EDGE OF DRIVEWAYS AND PARKING AREAS. SUCH WINDROWS SHALL NOT INTERFERE WITH PARKING.
2. SNOW MAY BE PILED IN THE VARIOUS SNOW STORAGE AREAS SHOWN

3. SNOW ACCUMULATION MAY NOT INTERFERE WITH PARKING OR TURNING MOVEMENTS AT INTERSECTIONS.
4. AT SUCH TIMES AS SNOW ACCUMULATIONS EXCEED THE CAPACITY OF ON-STREET STORAGE AREAS, SUCH EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL LAWS AND REGULATIONS.

REQUIREMENT FOR:	AR-2	PROPOSED
MIN. LOT AREA	22,800 S.F.	~4,400 S.F.*

	MIN. FRONT YARD	MIN. SIDE YARD	MIN. REAR YARD	MAX. BLDG. HEIGHT	MAX. BLDG. COVERAGE	MAX. LOT COVERAGE	SHAPE FACTOR
P-1A	10.0'	5.0'	10.0'	35.0'	30%	40%	0.75
P-2A	15.0'	7.5'	15.0'	40.0'	35%	45%	0.85
P-3A	20.0'	10.0'	20.0'	45.0'	40%	50%	0.95
P-4A	25.0'	12.5'	25.0'	50.0'	45%	55%	1.05
P-5A	30.0'	15.0'	30.0'	55.0'	50%	60%	1.15
P-6A	35.0'	17.5'	35.0'	60.0'	55%	65%	1.25
P-7A	40.0'	20.0'	40.0'	65.0'	60%	70%	1.35
P-8A	45.0'	22.5'	45.0'	70.0'	65%	75%	1.45
P-9A	50.0'	25.0'	50.0'	75.0'	70%	80%	1.55
P-10A	55.0'	27.5'	55.0'	80.0'	75%	85%	1.65
P-11A	60.0'	30.0'	60.0'	85.0'	80%	90%	1.75
P-12A	65.0'	32.5'	65.0'	90.0'	85%	95%	1.85
P-13A	70.0'	35.0'	70.0'	95.0'	90%	100%	1.95
P-14A	75.0'	37.5'	75.0'	100.0'	95%	105%	2.05
P-15A	80.0'	40.0'	80.0'	105.0'	100%	110%	2.15



12 WATERVIEW DRIVE
PROPOSED FARM LAYOUT
PLAN OF LAND
IN
MEDWAY, MA

PLAN DATE: MAY 29, 2026

[illegible]

PLAN SCALE: 1"=30'



Digitally signed by Vamshi
Methim, P.L.
Date: 2026.06.03 13:45:55
+04'00'

730 MAIN STREET
SUITE 2C
MILLS, MA 02054
508-376-8883(o)

3



LEGACY
ENGINEERING

BMP INFORMATION TABLE			
BMP	INTEGRATION	INTEGRATION	
CONTRIBUTING WATERSHEDS	Basin #1	Basin #2	
LAND USE	RESIDENTIAL	RESIDENTIAL	
PERVIOUS AREA	14,444 S.F. (34.4%)	14,444 S.F. (34.4%)	
PERVIOUS AREA	14,444 S.F. (34.4%)	14,444 S.F. (34.4%)	
TREATMENT TYPE	INTEGRATION	INTEGRATION	
STORAGE CAPACITY	14,444 S.F. (34.4%)	14,444 S.F. (34.4%)	
INTEGRATION RATE	14,444 S.F. (34.4%)	14,444 S.F. (34.4%)	

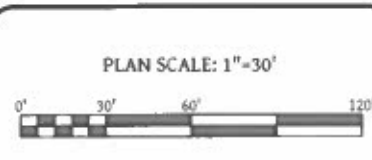
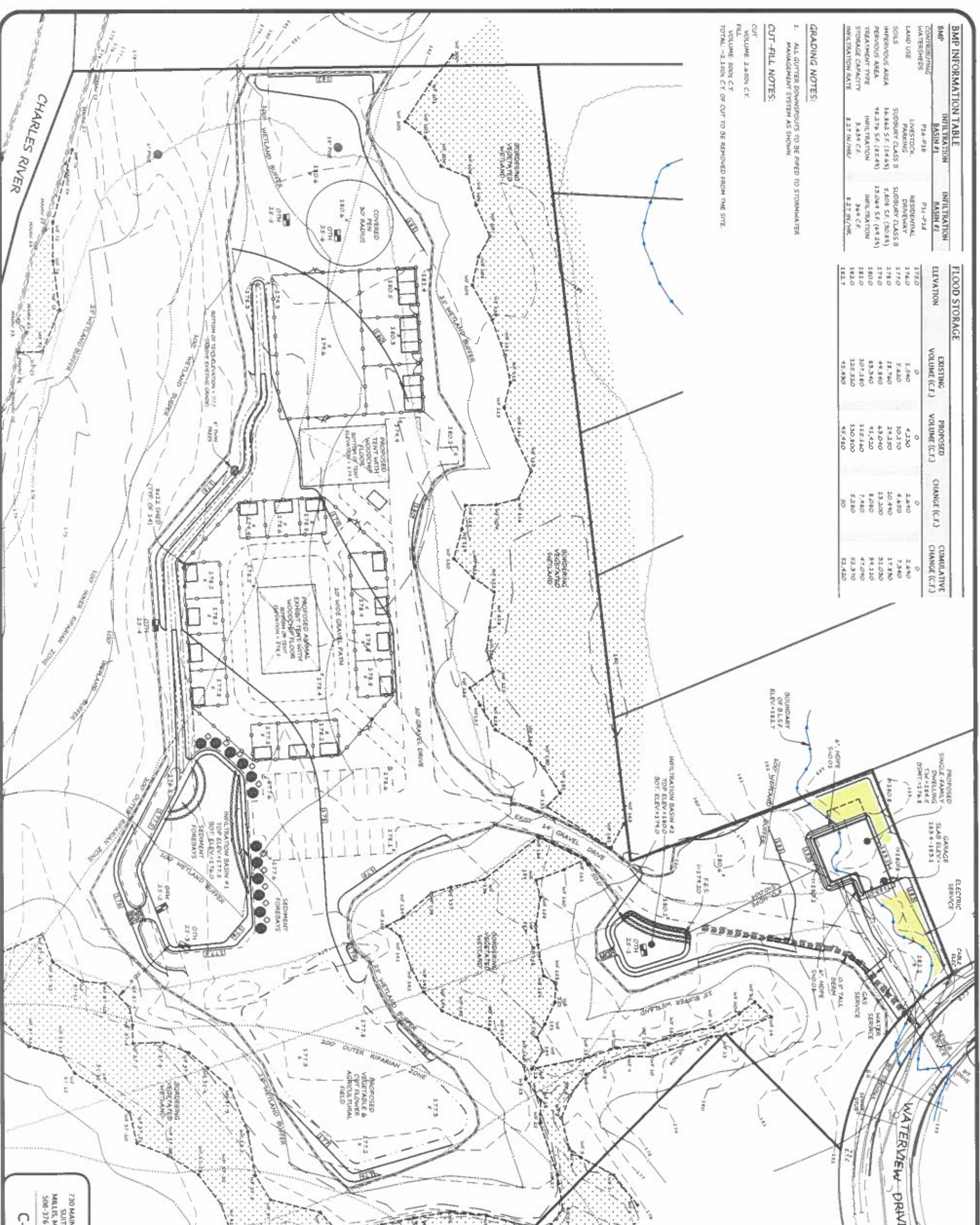
FLOOD STORAGE					
ELEVATION	EXISTING VOLUME (C.F.)	PROPOSED VOLUME (C.F.)	CHANGE (C.F.)	CUMULATIVE CHANGE (C.F.)	
178.0	0	0	0	0	
178.5	0	0	0	0	
179.0	0	0	0	0	
179.5	0	0	0	0	
180.0	0	0	0	0	
180.5	0	0	0	0	
181.0	0	0	0	0	
181.5	0	0	0	0	
182.0	0	0	0	0	
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197.0	0	0	0	0	
197.5	0	0	0	0	
198.0	0	0	0	0	
198.5	0	0	0	0	
199.0	0	0	0	0	
199.5	0	0	0	0	
200.0	0	0	0	0	

GRADING NOTES:

1. ALL GUTTER DOWNSPOUTS TO BE PIPED TO STORMWATER MANAGEMENT SYSTEM AS SHOWN.

CUT-FILL NOTES:

CUT
VOLUME: 2,450 C.Y.
FILL
VOLUME: 800 C.Y.
TOTAL: -3,150 C.Y. OF CUT TO BE REMOVED FROM THE SITE.



REVISION	DATE	BY

12 WATERVIEW DRIVE
GRADING & UTILITIES
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-0803 (o)
C-4



REGISTERED LAND SURVEYOR
DATE APPROVED _____
DATE ENGAGED _____
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

OWNER/APPPLICANT
DAVID J. MILLER
1200 WASHINGTON STREET
HOLLISTON, MA 01746
ZONING DISTRICT
AR-2
ASSESSORS PARCEL
67-041 & 67-046
PLAN & DEED REFERENCE
DEED BOOK 40286 PAGE 209
PLAN BOOK 253 PAGE 101
I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS AND PRIVATE STREETS OR WAYS, PUBLIC OR PRIVATE, SHOWN ARE THOSE OF PUBLIC OR PRIVATE RECORD, AND THAT THE LINES FOR NEW WAYS ARE SHOWN.
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE COMMONWEALTH OF MASSACHUSETTS
DATE: _____

GENERAL

PHASING AND CONSTRUCTION SEQUENCE

1.3. STAKEOUT AND INSTALL EROSION AND

- ### PERIMETER EROSION CONTROL AND SEDIMENT CONTROL

1. PERMEABLE ENDSIDE AND SEDIMENT CONTROL DEVICES WILL BE INSTALLED AND MAINTAINED DOWNSTREAM OF ALL

STOCKPILED SOILS

DUST CONTROL

THE OFF-SITE PER

- ## SOIL COMPACTION

CONSTRUCTION-STAGE OR FINAL

1. ALL STORM DRAIN SYSTEM INLETS INSIDE THE PROJECTED WITH SEDIMENT CONTROL

BASINS ALONG THE STREET FRONTAGE

- FINDS OTHER PROBLEMS, THE CONTRACTOR MUST**

1.1 INITIATE WORK TO CORRECT THE PROBLEM IMMEDIATELY UPON RECEIVING THE FOURTH CALL BY THE COPS OF THE NEXT

POLLUTION PREVENTION

MAINTAINED IN A NEAT AND ORDERLY FASHION REFER TO THE SITE PLAN

- STORAGE:
REFER TO THE SWPPP FOR DISPOSAL OF WASTE, INCLUDING HAZARDOUS

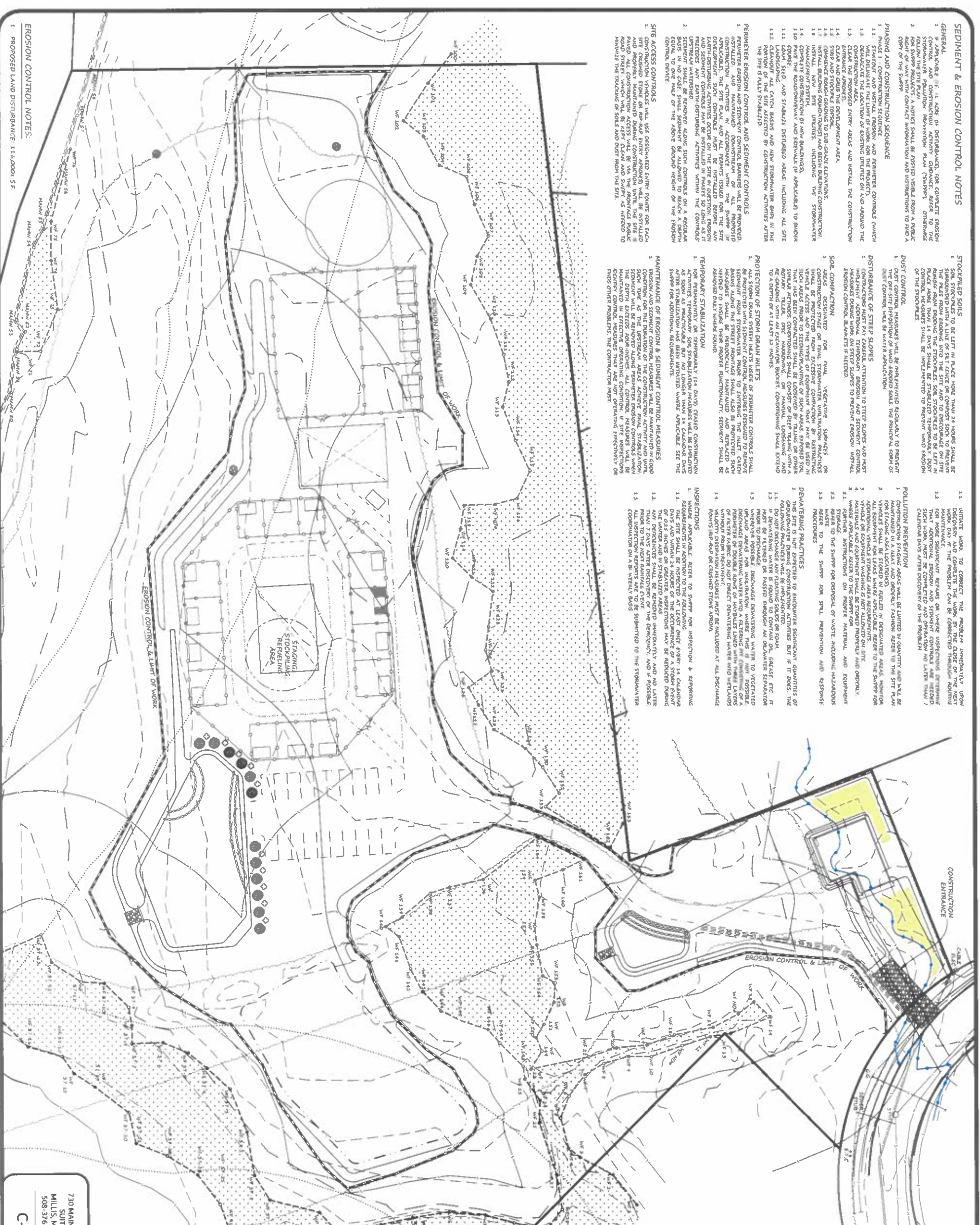
5.3 REFER TO THE SWPPP FOR SPILL PREVENTION AND RESPONSE

- 1.5. WHEREVER POSSIBLE, DISCHARGE DOWNSLOPING WATER TO VEGETATED UPLAND AREAS FOR INFILTRATION. WHERE THIS IS NOT POSSIBLE,

PERIMETER OF DOUBLE ROWS OF HAYBALES LINED WITH THREE LAYERS

-

1



1 PROPOSED LAND DISTURBANCE: 116,000+ SF

730 MAIN STREET
SUITE 2C
MILLS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

MIDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

12 WATERVIEW DRIVE
EROSION CONTROL
PLAN OF LAND
IN
MEDWAY, MA

PLAN DATE: MAY 29, 2026

[illegible]

PLAN SCALE: 1"=30'



Digitally signed by Darin
Merrin, P.L.
Date: 2026.06.03 13:46:11
-04'00'

INTRODUCTION

THIS OPERATIONS AND MAINTENANCE PLAN (HEREINAFTER REFERRED TO "O&M PLAN") IS PROVIDED TO ENSURE THE LONG-TERM MONITORING AND MAINTENANCE OF VARIOUS COMPONENTS OF THE DEVELOPMENT'S INFRASTRUCTURE. THIS O&M PLAN INCLUDES THE FOLLOWING PROVISIONS:

- 1. STORMWATER SYSTEM OPERATIONS AND MAINTENANCE
 - 2. INTERRELATED PEST MANAGEMENT PLAN
 - 3. MISCELLANEOUS PROVISIONS
 - 4. ACCIDENTAL SPILL AND EMERGENCY RESPONSE PLAN
- THE DEVELOPER, AND THE VARIOUS COMPONENTS WHICH ARE REFERENCED IN THIS O&M PLAN ARE DESCRIBED ON THE SITE PLAN REFERENCED BELOW.

PROJECT NAME
12 WATERVIEW DRIVE
PROJECT LOCATION
12 WATERVIEW DRIVE
MEDWAY MA, 02053
OPERATOR NAME AND ADDRESS (OWNER OF PROPERTY AT TIME OF WORK)
NANCY & DAVID DUBIN
1070 WASHINGTON STREET
HOLLISTON, MA 01746

REFERENCES

THIS O&M PLAN REFERENCES OTHER DOCUMENTS AS FOLLOWS:
SITE PLAN - PLANS ENTITLED "12 WATERVIEW DRIVE" WITH AN ORIGINAL DATE OF MAY 29, 2026 (AS MAY BE AMENDED), AND PREPARED BY LEGACY ENGINEERING LLC, HEREINAFTER REFERRED TO AS THE "SITE PLAN".
STORMWATER REPORT - REPORT ENTITLED "STORMWATER REPORT FOR 12 WATERVIEW DRIVE" PREPARED BY LEGACY ENGINEERING LLC WITH AN ORIGINAL DATE OF MAY 29, 2026 (AS MAY BE AMENDED).

SITE DESCRIPTION

THE SITE CONSISTS OF A PROPOSED SINGLE-FAMILY RESIDENTIAL DWELLING, ALONG WITH ANIMAL PENS AND ASSOCIATED APPURTENANCES LOCATED ON APPROXIMATELY 12.1 ACRES OF LAND ON WATERVIEW DRIVE IN MEDWAY AND INCLUDES ALL ASSOCIATED UTILITY SYSTEMS, LANDSCAPE AREAS, AND STORMWATER MANAGEMENT SYSTEMS. THOSE LAND AREAS ARE COLLECTIVELY REFERRED TO HEREIN AS THE "DEVELOPMENT".

SITE USAGE AND ACTIVITIES
SINGLE FAMILY RESIDENTIAL BUILDING AND LIVESTOCK.

PART 1: STORMWATER SYSTEM OPERATIONS AND MAINTENANCE

IN ORDER TO MAXIMIZE THE CONTINUED EFFECTIVENESS OF THE STORMWATER MANAGEMENT BMPs FOR THE DEVELOPMENT, THE FOLLOWING OPERATION AND MAINTENANCE REQUIREMENTS APPLY TO ALL STORMWATER FACILITIES WITHIN THE EXTENTS OF THE DEVELOPMENT. THE STORMWATER FACILITIES ARE DEPICTED ON THE SITE PLAN AND ARE HEREINAFTER REFERRED TO AS THE "STORMWATER FACILITIES."

OPERATIONS AND MAINTENANCE RESPONSIBILITIES
THE OPERATOR OR ITS DESIGNEE SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL OPERATIONS AND MAINTENANCE (O&M) RESPONSIBILITIES.

COMMENCEMENT OF OPERATIONS AND MAINTENANCE RESPONSIBILITIES
OPERATIONS AND MAINTENANCE TASKS SHALL BE COMMENCED ONCE EACH RESPECTIVE STORMWATER FACILITY IS FULLY CONSTRUCTED AND IS RECEIVING RUNOFF FROM THE DEVELOPMENT.

OPERATIONS AND MAINTENANCE TASKS

SEDIMENT FOREBAYS

- 1. SEDIMENT FOREBAYS SHALL BE INSPECTED AT LEAST FOUR TIMES PER YEAR TO INSURE PROPER OPERATION (DURING A STORM EVENT).
- 2. INSPECTIONS SHALL INCLUDE ENSURING THAT INLET, OUTLET, AND SPLASH PAD RIP-AP AREAS ARE IN GOOD CONDITION AND THAT THAT INTERIOR WALL SYSTEMS ARE IN GOOD CONDITION. DEFICIENCIES SHALL BE REMEDIED IMMEDIATELY.
- 3. INSPECTIONS SHALL INCLUDE AN OBSERVATION OF THE ACCUMULATION OF SEDIMENT IN THE BASIN. PRETREATMENT BASINS ARE INTENDED TO CAPTURE AND CONTAIN COARSE SEDIMENTS. SHOULD INDICATION OF SIGNIFICANT ACCUMULATION OF SEDIMENTS IN THE INFILTRATION BASIN BE OBSERVED, INCREASED FREQUENCY OF CLEANING OF THE PRECEDING SEDIMENT FOREBAY AND CATCH BASINS SHALL BE IMPLEMENTED.
- 4. OPERATIONS SHALL INCLUDE ENSURING THAT OUTLET STRUCTURES ARE UNOBSTRUCTED AND FREE-FLOWING AFTER THE SITE PLAN DESIGN SPECIFICATIONS.
- 5. SPREADINGS SHALL INCLUDE ENSURING THAT ALL BERMS ARE FULLY STABILIZED STRUCTURALLY. SPREADINGS SHOULD BE REMEDIED IMMEDIATELY.
- 6. STORMWATER BASINS SHOULD BE MOWED 1-2 MORE FREQUENT INTERVALS IF WARRANTED BY EXTREME WEATHER EVENTS.
- 7. SEDIMENT SHOULD BE REMOVED WHEN 3 INCHES OF SEDIMENT ACCUMULATES ANYWHERE IN THE FOREBAY.
- 4. REMOVE WOODY VEGETATION, LEAVES, AND OTHER MATERIALS THAT WOULD AFFECT THE LIFE OF THE SYSTEM OR ITS OPERATIONS.

STORMWATER INFILTRATION BASIN:

- 1. STORMWATER BASINS SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO INSURE PROPER OPERATION (DURING A STORM EVENT).
- 2. INSPECTIONS SHALL INCLUDE ENSURING THAT INLET, OUTLET, AND SPLASH PAD RIP-AP AREAS ARE IN GOOD CONDITION AND THAT THAT INTERIOR WALL SYSTEMS ARE IN GOOD CONDITION. DEFICIENCIES SHALL BE REMEDIED IMMEDIATELY.
- 3. INSPECTIONS SHALL INCLUDE AN OBSERVATION OF THE ACCUMULATION OF SEDIMENT IN THE BASIN. PRETREATMENT BASINS ARE INTENDED TO CAPTURE AND CONTAIN COARSE SEDIMENTS. SHOULD INDICATION OF SIGNIFICANT ACCUMULATION OF SEDIMENTS IN THE INFILTRATION BASIN BE OBSERVED, INCREASED FREQUENCY OF CLEANING OF THE PRECEDING SEDIMENT FOREBAY AND CATCH BASINS SHALL BE IMPLEMENTED.
- 4. OPERATIONS SHALL INCLUDE ENSURING THAT OUTLET STRUCTURES ARE UNOBSTRUCTED AND FREE-FLOWING AFTER THE SITE PLAN DESIGN SPECIFICATIONS.
- 5. SPREADINGS SHALL INCLUDE ENSURING THAT ALL BERMS ARE FULLY STABILIZED STRUCTURALLY. SPREADINGS SHOULD BE REMEDIED IMMEDIATELY.
- 6. STORMWATER BASINS SHOULD BE MOWED 1-2 MORE FREQUENT INTERVALS IF WARRANTED BY EXTREME WEATHER EVENTS.
- 7. SEDIMENT SHOULD BE REMOVED WHEN 3 INCHES OF SEDIMENT ACCUMULATES ANYWHERE IN THE FOREBAY.
- 8. REMOVE WOODY VEGETATION, LEAVES, AND OTHER MATERIALS THAT WOULD AFFECT THE LIFE OF THE SYSTEM OR ITS OPERATIONS.

SMALLEES

- 1. WATER QUALITY SMALLEES SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO INSURE PROPER OPERATION (DURING A STORM EVENT).
- 2. INSPECTIONS SHALL INCLUDE SLOPE INTEGRITY, SOIL MOISTURE, VEGETATIVE HEALTH, SOIL STABILITY, SOIL COMPACTION, SOIL EROSION, POUNDING AND SEDIMENTATION.
- 3. REGULAR MAINTENANCE INCLUDES MOWING, FERTILIZING, LIMING, WATERING, PRUNING, AND WEED/PEST CONTROL. GRASS HEIGHT SHOULD NOT EXCEED 6 INCHES.
- 4. MANUALLY REMOVE SEDIMENT AT LEAST ONCE PER YEAR.
- 5. RESEED AS NECESSARY.

STORMWATER PIPES, INLETS AND OUTFALLS

- 1. ALL STORMWATER INLETS AND OUTFALLS SHALL BE INSPECTED TWICE PER YEAR.
- 2. TRASH, LEAVES, DEBRIS AND SEDIMENT SHALL BE REMOVED FROM INLETS AND OUTFALLS AS NEEDED TO KEEP THEM FREE FLOWING.
- 3. IF INSPECTIONS INDICATE THAT STORMWATER PIPELINES HAVE BECOME PARTIALLY OBSTRUCTED WITH TRASH, LEAVES, DEBRIS OR SEDIMENT, THE PIPELINES SHALL BE CLEANED BY WATER JET TRUCK AND THE OBSTRUCTIONS REMOVED AND DISPOSED OF.

THE VARIOUS OPERATIONS AND MAINTENANCE SCHEDULE REQUIREMENTS LISTED ABOVE MAY BE REDUCED IN FREQUENCY BY APPROVAL FROM THE TOWN, SHOULD SUCH PERMISSION BE DESIRED. THE OPERATOR SHALL PROVIDE DOCUMENTATION OF ACTUAL ON-SITE MAINTENANCE OBSERVATIONS BY A QUALIFIED SOURCE (ENGINEER OR OTHER QUALIFIED PERSON MEETING THE APPROVAL OF THE TOWN DEMONSTRATING THAT THE PARTICULAR STORMWATER BMP IN QUESTION DOES NOT WARRANT THE SPECIFIED FREQUENCY OF INSPECTION OR MAINTENANCE ACTIVITIES.

REPORTING REQUIREMENTS

THE FOLLOWING DOCUMENTATION SHALL BE SUBMITTED NO LATER THAN DECEMBER 31ST OF EACH CALENDAR YEAR TO THE STORMWATER COORDINATOR FOR THE TOWN:

- 1. A STATEMENT, SIGNED BY AN AUTHORIZED REPRESENTATIVE OF THE OPERATOR INDICATING THAT THE REQUIREMENTS OF THIS O&M PLAN WERE PERFORMED DURING THE PREVIOUS CALENDAR YEAR, WHERE REQUIREMENTS WERE NOT MET, A SCHEDULE FOR THEIR COMPLETION SHALL BE PROVIDED AND A FOLLOW-UP STATEMENT SIGNED WHEN COMPLETE.
- 2. A LIST OF THE MAINTENANCE ACTIVITIES PERFORMED ALONG WITH THE APPROXIMATE DATE OF THE WORK.
- 3. A LIST OF THE INSPECTIONS PERFORMED ALONG WITH A STATEMENT BY EACH INSPECTOR SUMMARIZING THE RESULTS OF THE INSPECTIONS PERFORMED IN ACCORDANCE WITH THIS O&M PLAN.
- 4. COPIES OF APPURTENANT DOCUMENTATION SUPPORTING THE COMPLETION OF THE O&M RESPONSIBILITIES SUCH AS COPIES OF CONTRACTS AND/OR RECEIPTS WITH PARTIES ENGAGED TO PERFORM MAINTENANCE AND INSPECTION SERVICES.
- 5. A NOTATION REGARDING WHETHER THERE HAS BEEN ANY CHANGE IN THE NAME AND OR CONTACT INFORMATION FOR THE OPERATOR.

PUBLIC SAFETY FEATURES

THE STORMWATER SYSTEM HAS BEEN DESIGNED TO SAFELY COLLECT SURFACE RUNOFF FROM DEVELOPED AREAS (AS DESCRIBED ON THE SITE PLAN AND STORMWATER REPORT) BY PROVIDING COLLECTION SYSTEMS AT REGULAR INTERVALS TO PREVENT SURFACE FLOODING AND TO TREAT THAT RUNOFF IN ACCORDANCE WITH THE PROVISIONS OF THE MASSACHUSETTS STORMWATER MANAGEMENT STANDARDS AND HANDBOOK.

PART 2: MISCELLANEOUS PROVISIONS

GOOD HOUSEKEEPING CONTROLS

- THE FOLLOWING GOOD HOUSEKEEPING MEASURES WILL BE IMPLEMENTED IN THE DAY-TO-DAY OPERATION OF THE DEVELOPMENT:
- 1. THE SITE WILL BE MAINTAINED IN A NEAT AND ORDERLY MANNER.
- 2. FERTILIZERS AND PESTICIDE APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- 3. ALL WASTE MATERIALS FROM THE DEVELOPMENT WILL BE COLLECTED IN INDIVIDUAL UNIT TRASH BARRELS AND REMOVED FROM THE SITE BY PROPERLY LICENSED DISPOSAL COMPANIES.

MANAGEMENT OF DRAINING CHEMICALS AND SNOW

- MANAGEMENT OF ON-SITE SNOW WILL BE AS FOLLOWS:
- 1. THE SITE SHALL BE PLOWED AS NEEDED TO MAINTAIN SAFE DRIVING CONDITIONS. SNOW WILL BE STORED IN WINDOWS ALONG PAVEMENT EDGES AND SHALL BE PILED IN LANDSCAPE STRIPS AS NEEDED.
- 2. SNOW WILL NOT BE PLOWED INTO PILES WHICH BLOCK OR OBSTRUCT STORMWATER MANAGEMENT FACILITIES.
- 3. SNOW WILL NOT BE PLOWED INTO PILES AT ROADWAY INTERSECTIONS SUCH THAT IT WOULD OBSTRUCT VISIBILITY FOR ENTERING OR EXITING VEHICLES.
- 4. DRAINING CHEMICALS APPLICATION WILL BE AS LITTLE AS POSSIBLE WHILE PROVIDE A SAFE ENVIRONMENT FOR VEHICULAR OPERATION AND FUNCTION.
- 5. AT SUCH TIME AS SNOW ACCUMULATIONS EXCEED THE CAPACITY OF ON-SITE STORAGE AREAS, SUCH EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL LAWS AND REGULATIONS.

OPERATOR TRAINING

THE OPERATOR IS RESPONSIBLE FOR PROVIDING TRAINING FOR THE STAFF THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THIS O&M PLAN. SUCH TRAINING SHALL OCCUR AT LEAST ONCE ANNUALLY.

HAZT DISCHARGES

THE OPERATOR SHALL NOT ALLOW NON-STORMWATER DISCHARGES INTO THE DEVELOPMENT'S STORMWATER SYSTEM. ANY DISCOVERED NON-STORMWATER DISCHARGES INTO THE DEVELOPMENT'S STORMWATER SYSTEM SHALL BE IMMEDIATELY DISCONNECTED.

ESTIMATED OPERATIONS AND MAINTENANCE BUDGET
IT IS ESTIMATED THAT THE REGULAR ANNUAL MAINTENANCE TASKS DESCRIBED HEREIN WILL COST 1800 PER YEAR (2026 VALUES).

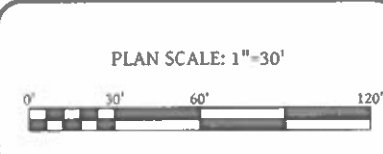
PART 3: ACCIDENTAL SPILL AND EMERGENCY RESPONSE PLAN

IN THE EVENT OF AN ACCIDENT WITHIN THE BOUNDARIES OF THE SITE, WHERE SIGNIFICANT GASOLINE OR OTHER PETROLEUM PRODUCTS OR OTHER HAZARDOUS MATERIALS ARE RELEASED, THE FOLLOWING PROCEDURE SHALL BE FOLLOWED IN THE ORDER NOTED:

- 1. AS QUICKLY AS POSSIBLE, ATTEMPT TO BLOCK THE NEAREST STORMWATER CATCH BASINS IF ON A ROADWAY, OR IF IN PROXIMITY TO WETLANDS, CREATE A BERM OF SOIL DOWNSLOPE OF THE SPILL.
- 2. IMMEDIATELY, AND WHILE THE CONTAINMENT MEASURES ARE IMPLEMENTED AS DESCRIBED ABOVE, NOTIFY THE FOLLOWING GOVERNMENTAL ENTITIES AND INFORM THEM OF THE TYPE OF SPILL THAT OCCURRED:
 - o MEDWAY FIRE DEPARTMENT AT 911.
 - o MEDWAY BOARD OF HEALTH AT 508-533-3206.
 - o MASS DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) CENTRAL REGION AT (508) 792-7650 (ADDRESS IS 8 NEW BOND STREET, WORCESTER, MA 01609), AND
 - o NATIONAL RESPONSE CENTER (NRC) AT (800) 424-8802 (FOR SPILLS THAT REQUIRE SUCH NOTIFICATION PURSUANT TO 40 CFR PART 110, 40 CFR PART 117, AND 40 CFR PART 302).
- 3. ONCE THE VARIOUS EMERGENCY RESPONSE TEAMS HAVE ARRIVED AT THE SITE AND IF THE SPILL OCCURS ON A LOT, THE OWNER SHALL FOLLOW THE INSTRUCTIONS OF THE VARIOUS GOVERNMENTAL ENTITIES, WHICH MAY INCLUDE THE FOLLOWING:
 - o A CLEAN UP FIRM MAY NEED TO BE IMMEDIATELY CONTACTED.
 - o IF THE HAZARDOUS MATERIALS HAVE ENTERED THE STORMWATER SYSTEM, PORTIONS OF IT MAY NEED TO BE CLEANED AND RESTORED PER THE DEP. ALL SUCH ACTIVITIES SHALL BE AS SPECIFIED BY THE DEP.



Digitally signed by Daniel J. Merrill, P.E.
DN: cn=Daniel J. Merrill, o=Legacy Engineering, ou=Engineering, email=daniel.merrill@legacyeng.com, c=US
Date: 2026.06.03 13:46:48 -0400



PLAN DATE: MAY 29, 2026		
REVISION	DATE	BY

OWNER/APPLICANT
NANCY & DAVID DUBIN
1070 WASHINGTON STREET
HOLLISTON, MA 01746
ZONING DISTRICT
AR-2
ASSESSORS PARCEL
67-061 & 67-046
PLAN & DEED REFERENCE
DEED BOOK 40288 PAGE 205
PLAN BOOK 259 PAGE 101

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND PRIVATE STREETS OR LOTS ALREADY SHOWN ARE THOSE OF PUBLIC OR PRIVATE RECORD. I HAVE REVIEWED THE RECORDS OF THE MASSACHUSETTS DEED DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERED LAND SURVEYORS OF THE COMMONWEALTH OF MASSACHUSETTS

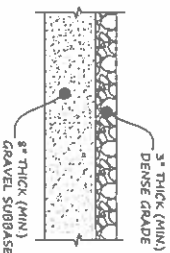
DATE _____
REGISTERED LAND SURVEYOR
DATE APPROVED _____
DATE EMPLOYED _____
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD



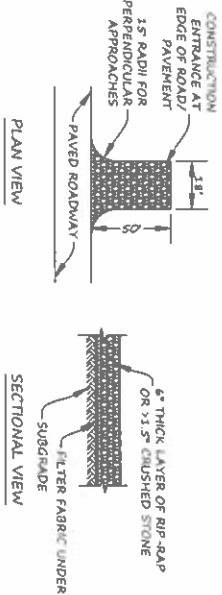
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8831(x)

C-6

12 WATERVIEW DRIVE
OPERATION & MAINTENANCE
PLAN OF LAND
IN
MEDWAY, MA

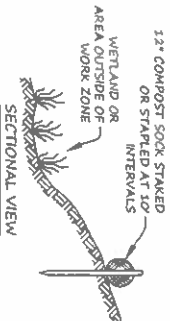


TYPICAL GRAVEL DRIVEWAY SECTION
NOT TO SCALE



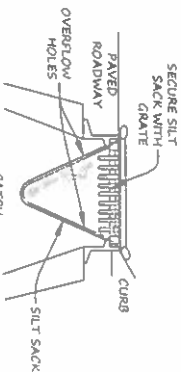
- NOTES:
- ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
 - ENTRANCE SHALL BE MAINTAINED IN GOOD CONDITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

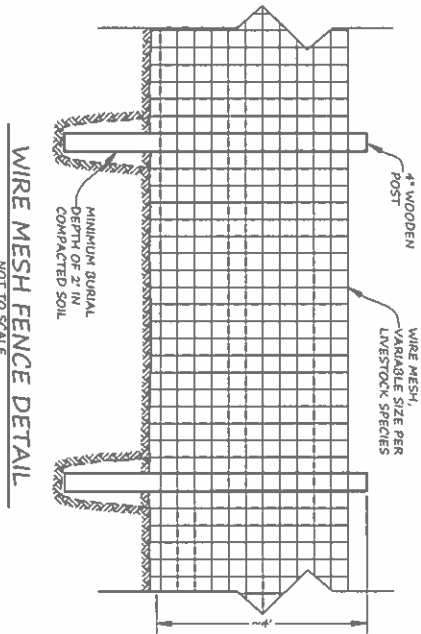


NOTE: NON-Biodegradable sock shell filled with COMPOST MEDIA. JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET. ORANGE SODIUM FENCE IS ONLY NEEDED IF THERE IS EVIDENCE OF THE COMPOST SOCK BEING BURNED BY CONSTRUCTION ACTIVITIES.

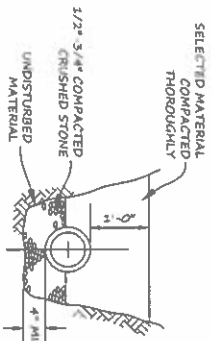
EROSION CONTROL DETAIL (COMPOST SOCK)
NOT TO SCALE



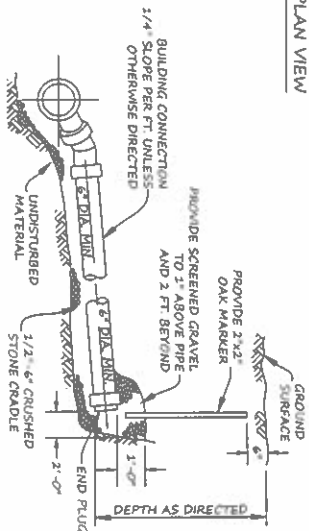
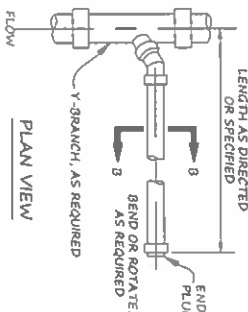
CATCH BASIN SILT SACK DETAIL
NOT TO SCALE



WIRE MESH FENCE DETAIL
NOT TO SCALE

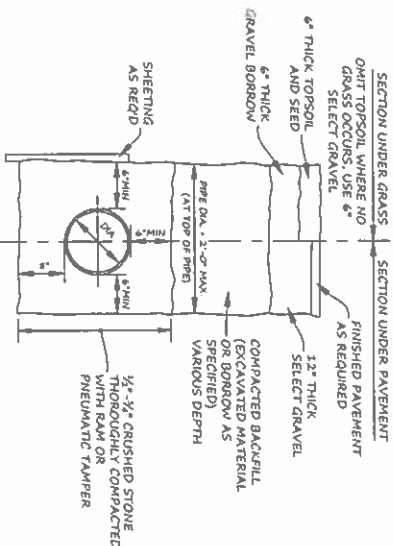


SECTION B-B

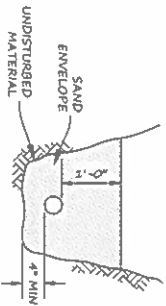


SECTION

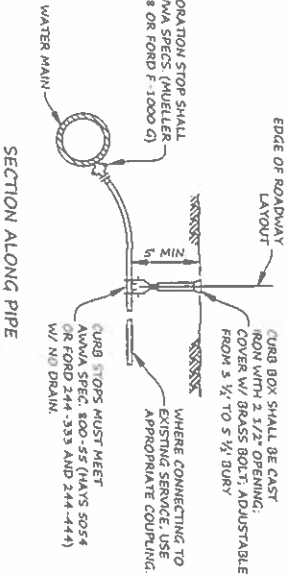
TYPICAL BUILDING SEWER SERVICE CONNECTION
NOT TO SCALE



TYPICAL SEWER TRENCH
NOT TO SCALE



TRENCH CROSS-SECTION



SECTION ALONG PIPE

- NOTES:
- COPPER TUBING SHALL MEET ANMA SPEC. 76, CR TYPE K OR FEDERAL SPEC. WWT 744 TYPE K.
 - 3 1/2 INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.

TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(10)

C-7.1

LEGACY
ENGINEERING

12 WATERVIEW DRIVE
DETAILS
PLAN OF LAND
IN
MEDWAY, MA

PLAN DATE: MAY 29, 2026

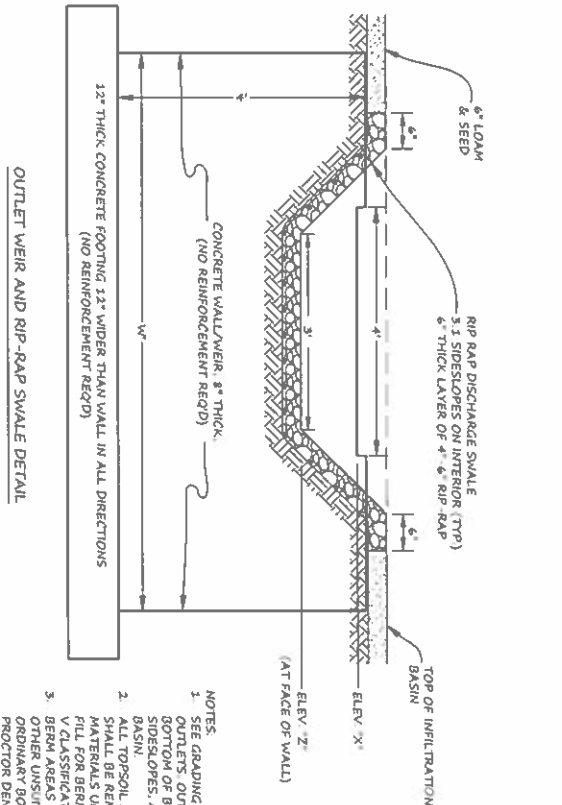
REVISION

DATE

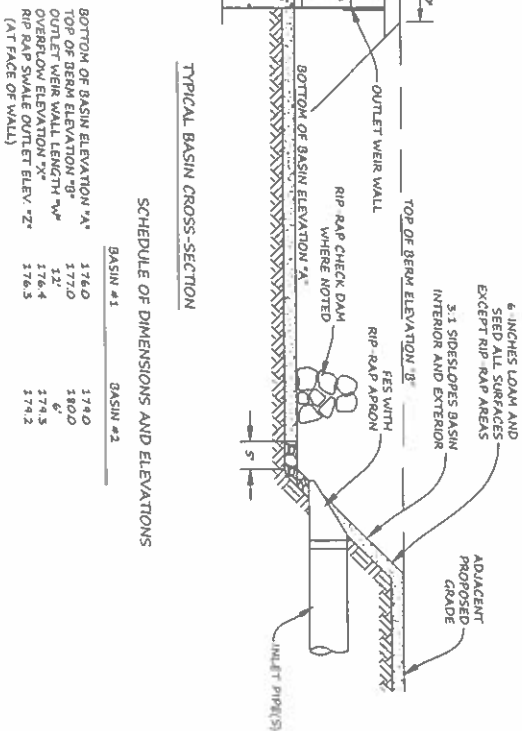
BY

PLAN SCALE: NOT TO SCALE

Digitally signed by Daniel J.
Merriman, P.E.
DN: cn=Daniel J. Merriman,
o=LEGACY ENGINEERING,
ou=ENGINEERING, email=dj@legacyeng.com,
c=US



- NOTES:
1. SEE GRADING SHEETS AND PROFILE SHEETS FOR SIZE OF INLETS AND OUTLETS. OUTLET STRUCTURE SPECIFICATIONS, ELEVATION OF BOTTOM OF BASIN, ELEVATION OF TOP OF BASIN, ELEVATION OF TOP OF SIDEWALKS, AND OTHER DIMENSIONAL REQUIREMENTS FOR EACH BASIN.
 2. ALL TOPSOIL AND SUBSOIL BELOW THE BOTTOM OF THE BASIN SHALL BE REMOVED PRIOR TO BASIN CONSTRUCTION. FILL MATERIALS UNDER THE BASIN BOTTOM SHALL BE CLEAN GRAVEL. FILL FOR BERMS MAY BE SAND, LOAMY SAND OR SANDY LOAM. (TITLE CLASSIFICATION) SHALL BE REMOVED OF ALL TOP AND SUB-SOIL AND OTHER UNSUITABLE SOILS. BERM CORE SHALL CONSIST OF PROCTOR DENSITY.
 3. BERM CORE SHALL BE REMOVED OF ALL TOP AND SUB-SOIL AND OTHER UNSUITABLE SOILS. BERM CORE SHALL CONSIST OF PROCTOR DENSITY.



SCHEDULE OF DIMENSIONS AND ELEVATIONS

BASIN #1		BASIN #2	
BOTTOM OF BASIN ELEVATION "A"	176.0	174.0	
TOP OF BERM ELEVATION "B"	177.0	180.0	
OUTLET WEIR WALL LENGTH "W"	12'	6'	
OVERFLOW ELEVATION "X"	176.4	176.5	
RIP-RAP CHECK DAM WHERE NOTED	176.5	174.2	
OUTLET ELEV "Z"			174.2



GRASS SWALE DETAIL

NOT TO SCALE

TYPICAL INFILTRATION BASIN CROSS-SECTION

NOT TO SCALE

OWNER/APPLICANT

NANCY & DAVID J. DUBIN
1070 WASHINGTON STREET
HOLLISTON, MA 01746

ZONING DISTRICT

AR-2

ASSESSORS PARCEL

67-061 & 67-046

PLAN & DEED REFERENCE

DEED BOOK 40246, PAGE 205

PLAN BOOK 253 PAGE 101

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN AND THE LINES SHOWING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE

REGISTERED LAND SURVEYOR

DATE APPROVED

DATE ENDORSED

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

730 MAIN STREET
SUITE 2C
MILLS, MA 02054
508-376-8883(10)

C-7.2

LEGACY
ENGINEERING

12 WATERVIEW DRIVE
DETAILS
PLAN OF LAND
IN
MEDWAY, MA

PLAN DATE: MAY 29, 2026

REVISION

DATE

BY

PLAN SCALE: NOT TO SCALE

Digitally signed by Daniel J. Merthin, P.E.
Date: 2026.06.03 13:47:23 -04'00'

